



## AGENCY COMMENT REQUEST

Date \_\_\_\_\_

We request your comments regarding the attached application currently under review.

**DISTRIBUTION**

**INTERNAL**

☐ Building Inspection      ☐ Grading Inspection  
☐ Advance Planning      ☐ Housing Programs  
☐ Trans. Planning      ☐ Telecom Planner  
☐ ALUC Staff      ☐ HCP/NCCP Staff  
☐ APC PW Staff      ☐ County Geologist

**HEALTH SERVICES DEPARTMENT**

☐ Environmental Health    ☐ Hazardous Materials

**PUBLIC WORKS DEPARTMENT**

☐ Engineering Services (1 Full-size + 3 email Contacts)  
☐ Traffic  
☐ Flood Control (Full-size)    ☐ Special Districts

**LOCAL**

☐ Fire District \_\_\_\_\_  
     ☐ San Ramon Valley – (email) [rwendel@srvfire.ca.gov](mailto:rwendel@srvfire.ca.gov)  
     ☐ Consolidated – (email) [fire@cccfd.org](mailto:fire@cccfd.org)  
     ☐ East CCC – (email) [brodriguez@ecccpd.org](mailto:brodriguez@ecccpd.org)  
☐ Sanitary District \_\_\_\_\_  
☐ Water District \_\_\_\_\_  
☐ City of \_\_\_\_\_  
☐ School District(s) \_\_\_\_\_  
☐ LAFCO  
☐ Reclamation District # \_\_\_\_\_  
☐ East Bay Regional Park District  
☐ Diablo/Discovery Bay/Crockett CSD  
☐ MAC/TAC \_\_\_\_\_  
☐ Improvement/Community Association  
☐ CC Mosquito & Vector Control Dist (email)

**OTHERS/NON-LOCAL**

☐ CHRIS (email only: [nwic@sonoma.edu](mailto:nwic@sonoma.edu))  
☐ CA Fish and Wildlife, Region 3 – Bay Delta  
☐ Native American Tribes

**ADDITIONAL RECIPIENTS**

\_\_\_\_\_

\_\_\_\_\_

*Please submit your comments to:*

Project Planner \_\_\_\_\_

Phone # \_\_\_\_\_

E-mail \_\_\_\_\_

County File # \_\_\_\_\_

Prior to \_\_\_\_\_

\* \* \* \* \*

We have found the following special programs apply to this application:

☐ Active Fault Zone (Alquist-Priolo)  
☐ Flood Hazard Area, Panel # \_\_\_\_\_  
☐ 60-dBA Noise Control  
☐ CA EPA Hazardous Waste Site

\* \* \* \* \*

**AGENCIES:** Please indicate the applicable code section for any recommendation required by law or ordinance. Please send copies of your response to the Applicant and Owner.

Comments: ☐ None    ☐ Below    ☐ Attached

Print Name \_\_\_\_\_

Signature \_\_\_\_\_ DATE \_\_\_\_\_

Agency phone # \_\_\_\_\_



# Planning Application

## Department of Conservation and Development

### Community Development Division

30 Muir Road  
Martinez, CA 94553  
(925) 674-7200  
[www.cccounty.us](http://www.cccounty.us)

#### PROJECT DATA

Total Parcel Size: \_\_\_\_\_  
Proposed Number of Units: \_\_\_\_\_  
Proposed Square Footage: \_\_\_\_\_  
Estimated Project Value: \_\_\_\_\_

#### TYPE OF APPLICATION (Mark all that apply):

<input type="checkbox"/> ACCESSORY DWELLING UNIT (ADU)/JUNIOR ADU	<input type="checkbox"/> GENERAL PLAN AMENDMENT/FEASIBILITY STUDY	<input type="checkbox"/> REZONING
<input type="checkbox"/> ADMINISTRATIVE REVIEW (former Redevelopment Area)	<input type="checkbox"/> LAND USE PERMIT	<input type="checkbox"/> TREE PERMIT
<input type="checkbox"/> CERTIFICATE OF COMPLIANCE	<input type="checkbox"/> LOT LINE ADJUSTMENT	<input checked="" type="checkbox"/> VARIANCE
<input type="checkbox"/> COMPLIANCE REVIEW	<input type="checkbox"/> MAJOR <input type="checkbox"/> MINOR SUBDIVISION	<input type="checkbox"/> WIRELESS _____
<input type="checkbox"/> DEVELOPMENT PLAN	<input type="checkbox"/> PLANNING CONSIDERATION	<input type="checkbox"/> OTHER _____

#### PROPERTY OWNER OR AGENT AUTHORIZATION

NAME: Alisa Etzel  
ADDRESS: 290 Columbia Avenue,  
CITY, STATE: Kensington, CA ZIP: 94708  
PHONE #: 510-813-3504  
EMAIL: alisaetzel@sbcglobal.net

#### APPLICANT (MAIN CONTACT INFORMATION)

NAME: Dorrice Pyle  
ADDRESS: 904 Curtis Street  
CITY, STATE: Albany, CA ZIP: 94706  
PHONE #: 510-316-2757  
EMAIL: dorricep@gmail.com

☒ I am the property owner and hereby authorize the filing of this application.

☐ Check here if billings are to be sent to applicant rather than owner.

SIGNATURE: *A. Etzel*

SIGNATURE: *[Signature]*

#### Project Description:

**Proposed second story of 488 sq ft on existing residence**

\*\*\*\*\*FOR OFFICE USE ONLY\*\*\*\*\*

#### Project Description:

The applicant requests a Kensington Design Review and Variance Permit to allow a reduced 6-foot 6-inch reduced front

#### Property Description:

Berkeley Highlands Addition Lot 23

	TYPE OF FEE	FEE	CODE	ASSESSOR'S #: 570-142-009
Area: Kensington	*Base Fee/Deposit	\$ \$3,250	S-	Site Address: 290 COLUMBIA AVE
Fire District: Kensington	Late Filing Penalty (+50% of above if applicable)	\$ -----	S-066	Zoning District: R-6, -TOV, -K
Sphere of Influence: El Cerrito	½% Est. Value over \$100,000	\$ -----	S-029	General Plan: SH
Flood Zone: X	#Units/Lots _____ x \$ _____ Sq. Ft. x \$ _____	\$ -----	S-014	Census Tract: 3920
x-ref Files:	Notification Fee	\$15.00 <u>\$30.00</u>	S-052	Substandard Lot: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
	Fish & Game Posting (if not CEQA exempt)	<u>\$75.00</u>	S-048	Supervisory District: 1
	Environmental Health Dept.	<u>\$57.00</u>	5884	Received By: J. Lawlor
Concurrent Files:	<b>TOTAL</b>	\$ \$3,337		Date Filed: 8/13/2020
	*Additional fees based on time and materials will be charged if staff costs exceed base fee.			File #: VR20-1016

**APPLICATION SUBMITTAL ON REVERSE**

## APPLICATION SUBMITTAL

Please submit the following in person: Three full size sets of plans drawn to scale (24" x 36") and twelve reduced sets (11" x 17") - All sets must be folded to approximately 8½" x 11" - **Rolled plans will not be accepted**; completed application form (reverse side of this sheet), signed and dated "Important Notice to Applicants and Property Owners," and required deposit and miscellaneous fees. Checks may be made payable to Contra Costa County. Depending on the type of application, there may be additional submittal requirements.

### **SITE PLANS**

- |   |  |
|---|--|
| <input type="checkbox"/> Site boundary and topographical survey<br><input type="checkbox"/> Existing/proposed right-of-ways<br><input type="checkbox"/> Existing and proposed building/structures/uses clearly labeled with setbacks<br><input type="checkbox"/> Conceptual grading and drainage plan<br><input type="checkbox"/> Existing natural features<br><input type="checkbox"/> Location and heights of existing and proposed fences & retaining walls<br><input type="checkbox"/> Impervious area (square footage) | <input type="checkbox"/> Easements<br><input type="checkbox"/> Traffic Circulation<br><input type="checkbox"/> Location of light fixtures<br><input type="checkbox"/> Contiguous off-site features<br><input type="checkbox"/> Dimensioned parking spaces<br><input type="checkbox"/> Landscaped areas with total area |
|---|--|

#### ☐ **Tree information**

- The site (grading and development) plan shall accurately and fully disclose the location, species, tree dripline, and trunk circumference of all trees with a trunk circumference of 20 inches (50.8 cm; approximately 6½ inches in diameter) or greater, measured 4½ feet (1.37 m) above the ground whose tree trunks lie within 50 feet (15 m) of proposed grading, trenching, or other proposed improvements. The site plan shall include any multi-stemmed tree, the sum of whose circumferences measures 40-inches or more, measured 4½ feet from ground level.
- Trees Along Property Lines - Include any qualifying trees whose trunks lie on adjoining property but whose canopy (dripline) extends onto the subject property.
- Numbering of Trees for Identification Purposes - If the proposed development is in proximity to two or more qualifying trees, then each tree shall be assigned a number for identification purposes (e.g., #3, #5, etc.). (Trees whose trunks are more than 50 feet removed from the proposed ground disturbance need be only denoted by the outline of the aggregate tree canopy.)
- Identification of Project Impact on Individual Trees -The site plan shall also specifically and clearly indicate whether individual trees are proposed to be (1) removed, or (2) altered or otherwise affected. The plan shall identify any proposed drainage ditches, sewer or water mains, drainage lines or other utility improvements which would result in trenching.
- Tally of Trees to be Removed - The site plan shall contain a tally of the total number of trees proposed to be removed, and their respective trunk circumference sizes.
- Identification of Designated Heritage Trees Any tree that has been designated by the Board of Supervisors for "heritage" status shall be so labeled on the site plan.

### **ARCHITECTURAL DRAWINGS**

#### **Exterior elevations**

- ☒ All sides of building(s)/structure(s)
- ☒ Proposed exterior materials, details, and features (i.e. shutters, planting boxes, window trim, cornices, signs, railings, wood siding, stucco, stone veneer, concrete tile roof, etc.)
- ☒ Exterior dimensions (height, width, depth) of all proposed improvements. (82-4.214 "Building height" means the vertical distance measured from grade to the top of structure directly above with exceptions noted elsewhere in the code. Height may be measured from finished grade when such grade is below natural grade. Height shall be measured from natural grade when the finished grade is higher than natural grade.)
- ☒ For properties on 10% slope or greater and when the maximum height proposed is within 5 feet of the maximum allowed height, a roof plan with peak elevations should be shown on a grading plan that has natural and finished grades.
- ☒ Cross section of building(s) with height labeled

#### **Floor plans**

- ☒ All rooms, hallways and other common areas clearly labeled with their dimensions and use (i.e. bedroom, kitchen, etc.)
- ☒ All locations of doorways, stairways and landings, windows, permanent fixtures (sinks, toilets, showers, etc.) and major mechanical equipment (hot water heaters, furnaces, etc.)

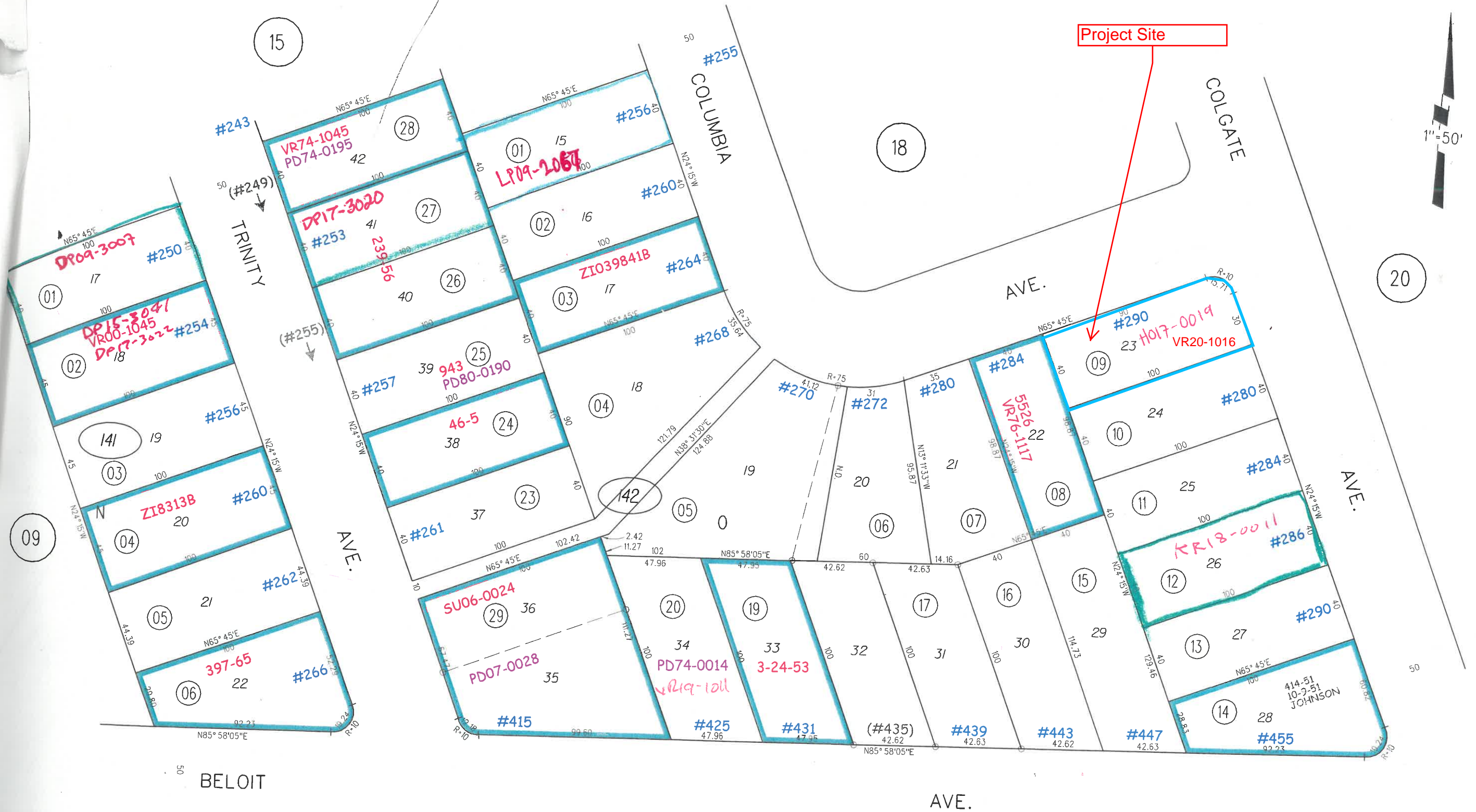
### **SIGNAGE PLANS**

#### **Site plan**

- ☐ Table of total signage square footage
- ☐ Setback to monument signs

#### **Sign Details**

- ☐ Sign details and dimensions
- ☐ Dimensions of proposed letters on signs
- ☐ One colored elevation



ZM: M-7 R-6

II S.F. 6-4

FM.73/2 1962 ROLL

ASSESSOR'S MAP

BOOK 570 PAGE 14

4-11-61 G.C.C. CONTRA COSTA COUNTY

Downloaded on February





Legend

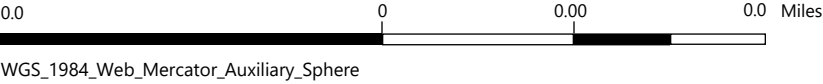
- City Limits
- Highways
- Highways Bay Area
- Streets
- General Plan
  - SV (Single Family Residential - Ver
  - SL (Single Family Residential - Low
  - SM (Single Family Residential - Me
  - SH (Single Family Residential - Hig
  - ML (Multiple Family Residential - Lc
  - MM (Multiple Family Residential - M
  - MH (Multiple Family Residential - H
  - MV (Multiple Family Residential - V
  - MS (Multiple Family Residential - V
  - CC (Congregate Care/Senior Housi
  - MO (Mobile Home)
  - M-1 (Parker Avenue Mixed Use)
  - M-2 (Downtown/Waterfront Rodeo I
  - M-3 (Pleasant Hill BART Mixed Use
  - M-4 (Willow Pass Road Mixed Use)
  - M-5 (Willow Pass Road Commercia
  - M-6 (Bay Point Residential Mixed U
  - M-7 (Pittsburg/Bay Point BART Sta
  - M-8 (Dougherty Valley Village Cent
  - M-9 (Montalvin Manor Mixed Use)
  - M-10 (Willow Pass Business Park M
  - M-11 (Appian Way Mixed Use)
  - M-12 (Triangle Area Mixed Use)
  - M-13 (San Pablo Dam Road Mixed
  - M-14 (Heritage Mixed Use)
  - CO (Commercial)
  - OF (Office)
  - BP (Business Park)
  - LI (Light Industry)
  - HI (Heavy Industry)
  - AL, OIBA (Agricultural Lands & Off
  - CR (Commercial Recreation)
  - ACO (Airport Commercial)
  - LF (Landfill)

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Notes

Contra Costa County -DOIT GIS



This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.  
**THIS MAP IS NOT TO BE USED FOR NAVIGATION**

Zoning: R-6, -TOV, -K



Legend

- City Limits
- Highways
- Highways Bay Area
- Streets
- Zoning

R-6 (Single Family Residential)

R-6 -FH (Single Family Residential Combining District)

R-6, -FH -UE (Single Family Residential Urban Farm Animal Exclusion Combining District)

R-6 -SD-1 (Single Family Residential Hillside Development Combining District)

R-6 -TOV -K (Single Family Residential View Ordinance and Kensington Cc)

R-6, -UE (Single Family Residential Exclusion Combining District)

R-6 -X (Single Family Residential - Combining District)

R-7 (Single Family Residential)

R-7 -X (Single Family Residential - Combining District)

R-10 (Single Family Residential)

R-10, -UE (Single Family Residential Exclusion Combining District)

R-12 (Single Family Residential)

R-15 (Single Family Residential)

R-20 (Single Family Residential)

R-20, -UE (Single Family Residential Exclusion Combining District)

R-40 (Single Family Residential)

R-40 -FH (Single Family Residential Combining District)

R-40, -FH -UE (Single Family Residential Urban Farm Animal Exclusion Combining District)

R-40, -UE (Single Family Residential Exclusion Combining District)

R-65 (Single Family Residential)

R-100 (Single Family Residential)

D-1 (Two Family Residential)

D-1 -T (Two Family Residential - Tr District)

D-1, -UE (Planned Unit - Urban Farm Combining District)

M-12 (Multiple Family Residential)

M-12 -FH (Multiple Family Residential Combining District)

M-17 (Multiple Family Residential)

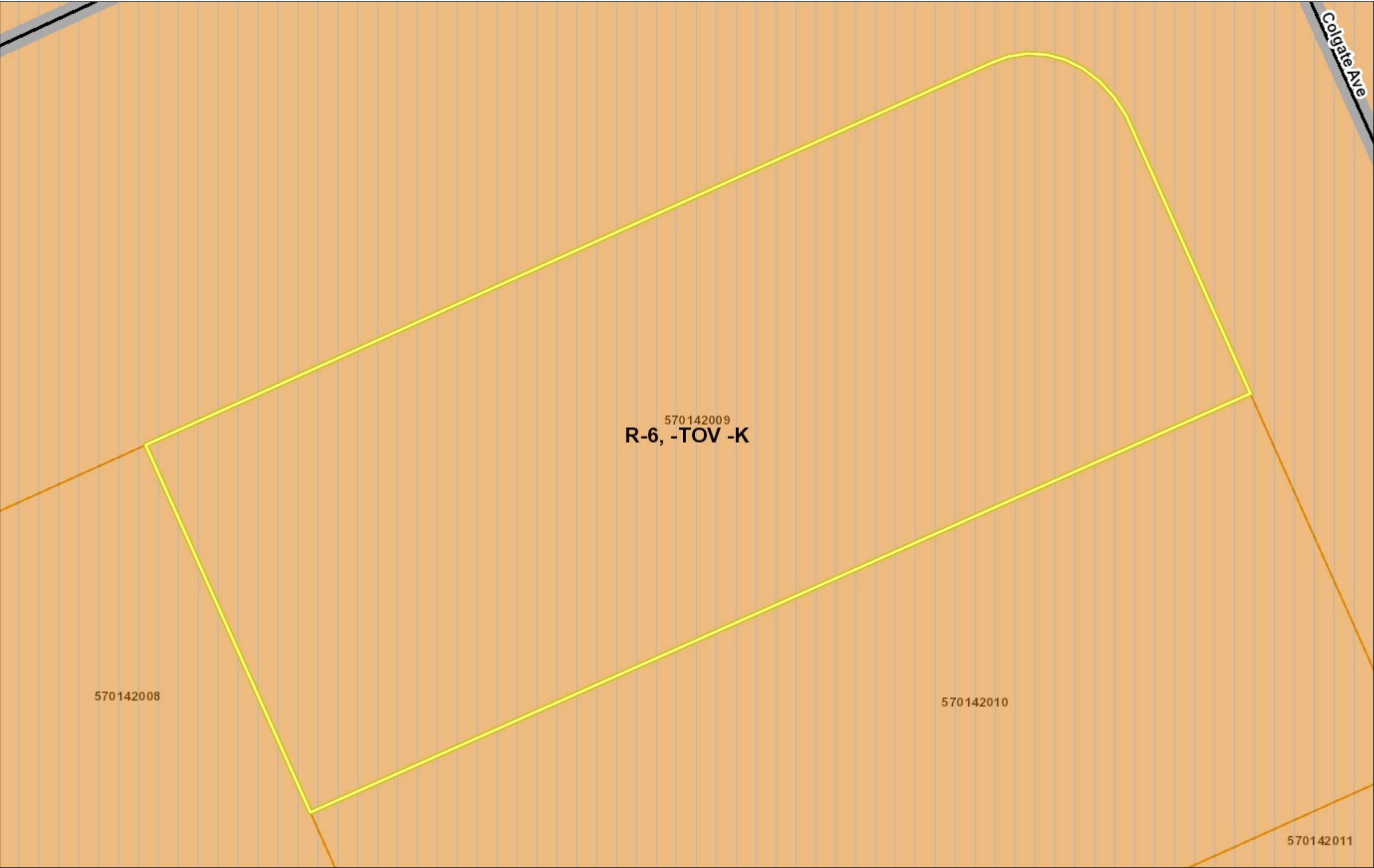
M-29 (Multiple Family Residential)

1: 141



Notes

Contra Costa County -DOIT GIS



0.0 0 0.00 0.0 Miles

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere

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- Legend
- City Limits
  - Highways
  - Highways Bay Area
  - Streets
  - County Boundary
  - Bay Area Counties
  - Assessor Parcels
  - World Imagery
  - Low Resolution 15m Imagery
  - High Resolution 60cm Imagery
  - High Resolution 30cm Imagery
  - Citations



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Notes  
Contra Costa County -DOIT GIS



## ETZEL RESIDENCE

290 Columbia Avenue, Kensington, CA 94708

### RESIDENTIAL REMODEL AND SECOND STORY ADDITION

#### PROJECT DIRECTORY

##### HOMEOWNER CONTACT:

Alexa Etzel  
290 Columbia Avenue  
Kensington, CA 94708  
alexasetzel@alucidal.net  
910-619-9504

##### DESIGNER

Dorrice Pyle  
904 Curtis Street  
Albany, CA 94706  
(910) 316-2757  
dorricep@gmail.com

##### STRUCTURAL ENGINEER

Andres Stankuk  
CRE'S Engineering  
2420 Sand Creek Road, Suite C-125/2  
Brentwood, CA 94319  
925-420-9259

##### CONTRACTOR

thd

#### SCOPE OF WORK

REMODEL KITCHEN, ADD SECOND STORY- 557 SQUARE FEET AND INTERNAL STAIR, UPPER LEVEL TO INCLUDE CLOSET, MASTER 3 FIXTURE BATH, BEDROOM AND DECK. TOTAL SQUARE FOOTAGE PROPOSED = 2000 SQ FEET.

#### PROJECT DATA

Zoning: RMG

	EXISTING	PROPOSED	CHANGE
LOT	3960	3960	NONE
UPPER (PROPOSED)	0	+557	+557
LOWER FLOOR	1443	1443	NONE
TOTAL SQ FT	1443	2000	+557
LOT COVERAGE	1443	1443	NONE
LOT COVERAGE %	36.44%	36.44%	NONE

#### SHEET INDEX

##### A.0 COVER SHEET/PROJECT INFO/SITE PLAN

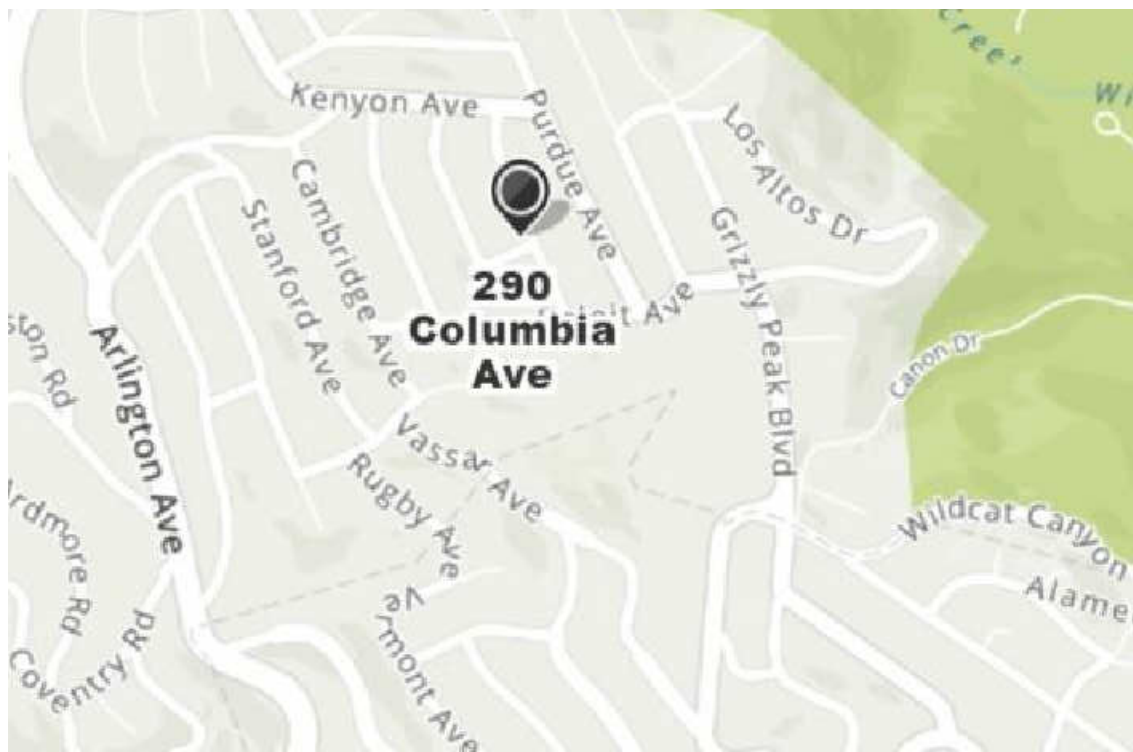
- A.1.0 SITE PLAN- EXISTING AND PROPOSED  
A.1.1 ROOF PLAN- EXISTING AND PROPOSED  
A.1.2 FLOOR PLAN- PROPOSED SECOND FLOOR  
A.1.3 FLOOR PLAN- MAIN LEVEL- EXISTING AND PROPOSED

- A.2.0 EXTERIOR ELEVATIONS  
A.2.1 EXTERIOR ELEVATIONS  
A.2.2 EXTERIOR ELEVATIONS

- A.3.0 WINDOW SCHEDULE

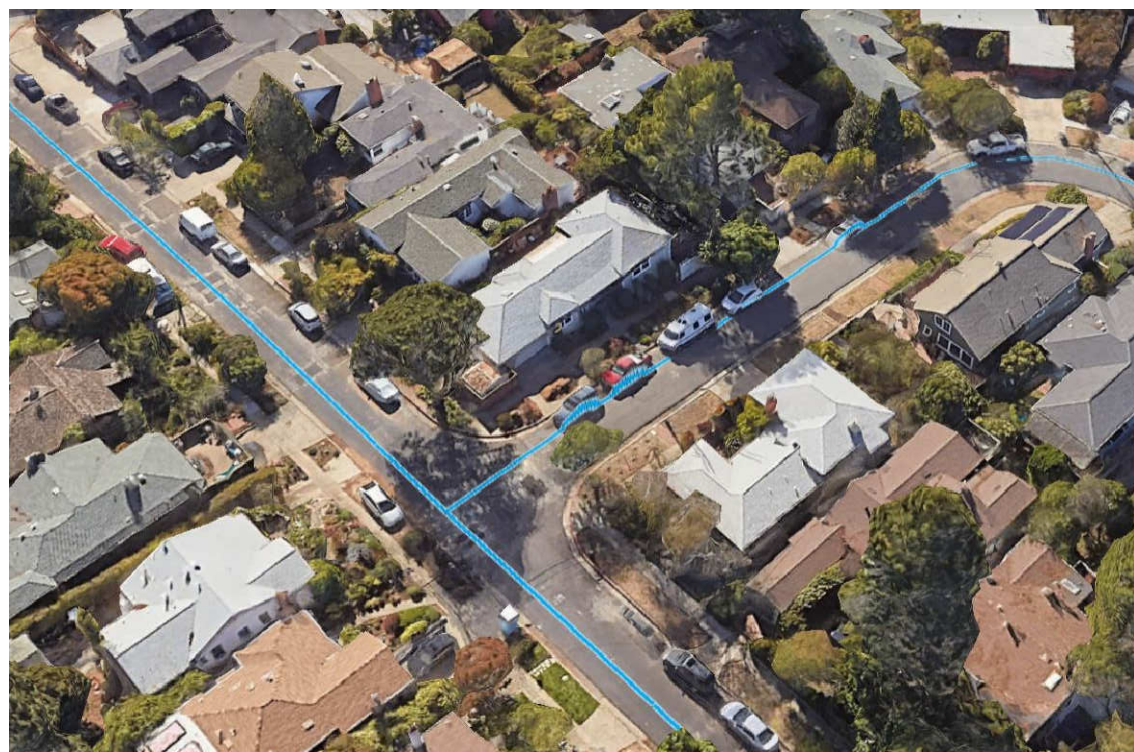
##### PROJECT LOCATION

##### SCALE: NONE



##### AERIAL VIEW

##### SCALE: NONE



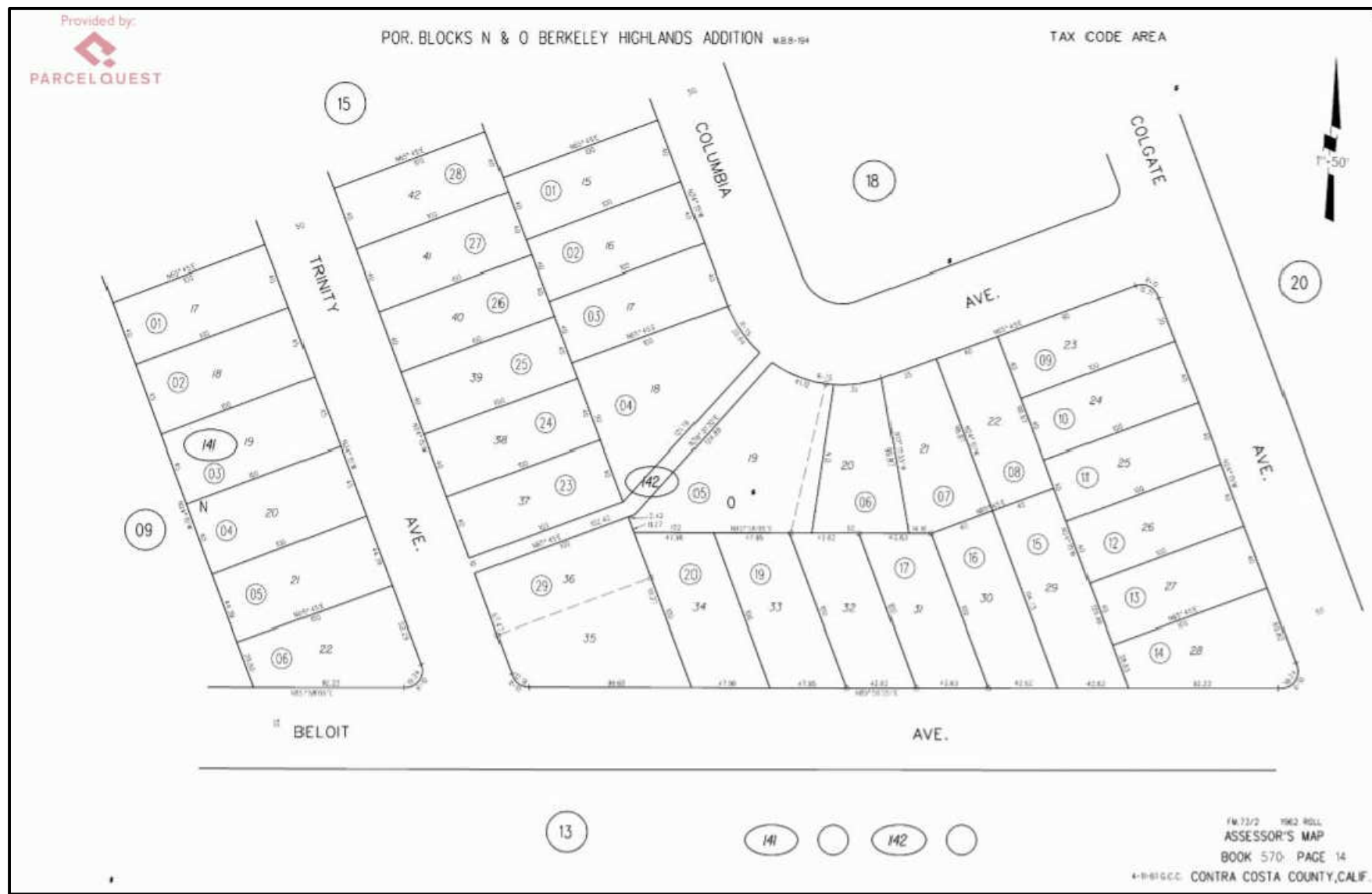
##### STREET VIEW

##### SCALE: NONE



#### PARCEL MAP

##### SCALE: NONE



#### CALGREEN COMMENTS

- Annular spaces around pipes, electric cables, conduits or other openings in plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or similar acceptable method. (GBC Section 4.504.4)
- A minimum of 65 percent of the construction waste generated at the site shall be diverted to recycle or salvage. (GBC Section 4.406.1)
- Duct and vent openings shall be covered during construction. (GBC Section 4.504.1)
- Adhesives, sealants and caulks shall be compliant with VOC and other toxic compound limits. (GBC Section 4.504.2.1)
- Paints, stains, and other coatings shall be compliant with VOC limits. GBC Section 4.504.2.2)
- Aerosol paints and coating shall be compliant with product weighted MIR limits for ROC and other toxic compounds. (GBC Section 4.504.2.3)
- Documentation shall be provided to verify that compliant VOC limit finish materials have been used. (GBC Section 4.504.2.4)
- Carpet and carpet systems shall be compliant with VOC limits. (GBC Section 4.504.3)
- 80% of floor area receiving resilient flooring shall comply with VOC emission limits defined in the Collaborative for High Performance Schools (CHPS) High Performance Products Database or compliant with CHPS criteria certified under the Green Guard Children & Schools program or be certified under the Resilient Floor Covering Institute (RFCI) Floor Score program or meet the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," (GBC Section 4.504.4)
- Particleboard, medium density fiberboard (MDF) and hardwood plywood used in interior finish systems shall comply with low formaldehyde emission standards. (GBC Section 4.504.5)
- Moisture content of building materials used in enclosed wall and floor framing is checked before enclosure and cannot exceed 19%. (GBC Section 4.505.3)
- HVAC system installers are trained and certified in the proper installation of HVAC systems. (GBC Section 702.1)
- GFCI outlets are required for all kitchen receptacles that are designed to serve countertop surfaces, in the bathroom, in underfloor spaces at or below grade level, in exterior outlets, and in all garage outlets not dedicated to a single device or appliance. (CEC 210.8) All dwellings must have at least one exterior outlet at the front and the back of the dwelling. (CEC 210.52E)
- Receptacles must be installed at 12' o.c. maximum in walls. Walls longer than 2 feet and halls longer than 10' must have a receptacle. A receptacle must be provided within 3' of bathroom sinks. (CEC 210.52)
- Bond all metal gas and water pipes to ground. All ground clamps must be accessible and of an approved type. (CEC 250.104)
- When alterations, repairs, or additions require a permit, smoke alarms shall be installed where required in new dwellings. (R314.3.1)
- For new construction and work in an existing dwelling where the value of the work exceeds \$1000 carbon monoxide alarms shall be installed in all dwelling units and in the sleeping rooms within which fuel-burning appliances are installed and in dwelling units that have attached garages. (R315.2)
- All 120-volt 15 and 20 amp branch circuits in dwelling units except those in kitchens, bathrooms, unfinished basements, garages and outdoors shall have AFCI protection. (CEC 210.12)

#### ADOPTED CODES:

- 2019 California Residential Code
- 2019 California Building Code (Structural Only)
- 2019 California Mechanical Code
- 2019 California Plumbing Code
- 2019 California Electrical Code
- 2019 California Green Building Standards Code
- 2019 California Energy Code

#### MECHANICAL NOTES:

- Heating system is required to maintain 68 degrees at 3 feet above floor level and 2 feet from exterior walls in all habitable rooms.
- Each bathroom containing a bathing facility shall be mechanically ventilated, by an Energy Star vent, for the purposes of humidity control. (R303.3.1). Fan shall be controlled by a humidistat and be energy star rated. CGBC 4.50G
- Per 2016 CMC, gas line pressure testing is 10 PSI for 15 minutes and welded piping is 60 PSI for 30 minutes.

#### ELECTRICAL NOTES:

- GFCI outlets are required for all kitchen receptacles that are designed to serve countertop surfaces, in the bathroom, in underfloor spaces at or below grade level, in exterior outlets, and in all garage outlets not dedicated to a single device or appliance. (CEC 210.8) All dwellings must have at least one exterior outlet at the front and the back of the dwelling. (CEC 210.52E)
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- All 120-volt 15 and 20 amp branch circuits in dwelling units except those in kitchens, bathrooms, unfinished basements, garages and outdoors shall have AFCI protection. (CEC 210.12)
- Receptacles in 120-volt 15 and 20 amp circuits shall be tamper resistant. Except when located more than 5.5' above the floor; within cabinets or cupboards ; or when part of a luminaire or appliance. (CEC 406.12)
- GFCI outlets are required in the bathroom. (CEC 210.8)
- Receptacles must be installed within 3' of bathroom sinks. (CEC 210.52)
- All installed luminaires shall be high-efficacy in accordance with Table 150.0-A.

- All luminaires required to have light sources compliant with Reference Joint Appendix JAB, except hallways and closets over 70 sf, shall be controlled by dimmers or vacancy sensors. (This applies to all GU-24 LEDs and recessed luminaires.) CDEES 150.0(R)2K
- In bathrooms, garages, laundry rooms, and utility rooms, at least one luminaire in each of these spaces shall be controlled by a vacancy sensor.
- All 120 volt, single phase, 15-4 20-amp branch circuits supplying outlets installed in dwelling unit kitchens, dining rooms, family rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, rec rooms, closets, laundry areas, hallways and similar rooms shall be protected by a listed arc-fault circuit interrupter (AFCI), combination type, installed to provide protection of the branch circuit. CEC 210.12.

#### PROJECT NOTES:

- The applicant shall obtain an encroachment permit from the Engineering Division prior to commencing any construction activities within any public right-of-way or easement.
- All mud, dirt or construction debris carried off the construction site onto adjacent streets shall be removed each day. No materials shall be discharged onto a sidewalk, street, gutter, storm drain or creek.
- Any damage to street improvements now existing or done during construction on or adjacent to the subject property shall be repaired to the satisfaction of the City Engineer at the full expense of the applicant. This shall include sidewalk repair, slurry seal, street reconstruction or others, as may be required by the City Engineer.
- All improvements within the public right-of-way, including curb, gutter, sidewalks, driveways, paving and utilities, shall be reconstructed in accordance with approved standards and/or plans and shall comply with the standard plans and specification of the Community development Department and Chapter 14 of the City Code.
- The owner and builder shall comply with all City requirements regarding water pollution prevention, noise control, construction work hours, and archeological discoveries.

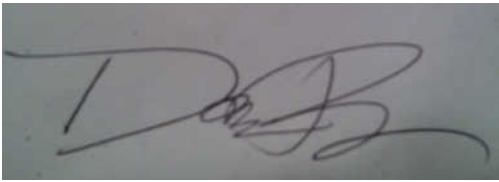
#### PLUMBING NOTES:

- Showerheads shall have a maximum flow rate of not more than 2.0 gallons per minute at 80 psi and comply with Division 4.3 of the California Green Building Standards Code (CALGreen).
- Shower shall be provided with individual control valves of the pressure balance, thermostatic, or combination pressure balance/thermostatic mixing valve type per 2016 plumbing code.
- The maximum flow rate of residential lavatory faucets shall not exceed 1.2 gallons per minute at 60 psi. The minimum flow rate of residential lavatory faucets shall not be less than 0.8 gallons per minute at 20 psi.
- Shower receptor dam shall be not less than 2 inches.
- The effective flush volume of water closet shall not exceed 1.28 gallons per flush when tested in accordance with ASME A112.19.2/CSA B45.1.
- Gas shut off valves to be installed.
- Prior to final inspection, applicant must replace all non-complying plumbing fixtures with water conserving plumbing fixtures. Non-compliant fixtures include any of the following:
  - Toilets manufactured to use more than 1.6 gpm
  - Showerheads with flow capacity of >2.5 gpm
  - Interior faucets with flow capacity >2.2 gpm

## DORRICE PYLE DESIGN GROUP

contact: DORRICE PYLE  
address: 904 CURTIS STREET  
ALBANY CA 94706

phone: 510 316 2757  
email: dorricep@gmail.com



## ETZEL RESIDENCE

290 COLUMBIA AVE  
KENSINGTON, CA  
94708

#### AS INDICATED

07/21/2020

#### PROJECT INFO SITE PLAN

# A.0

sheet 1 of 9



contact: DORRICE PYLE  
address: 904 CURTIS STREET  
ALBANY CA 94706  
phone: 510 316 2757  
email: dorricep@gmail.com



— 290 COLUMBIA AVE  
KENSINGTON, CA  
94708



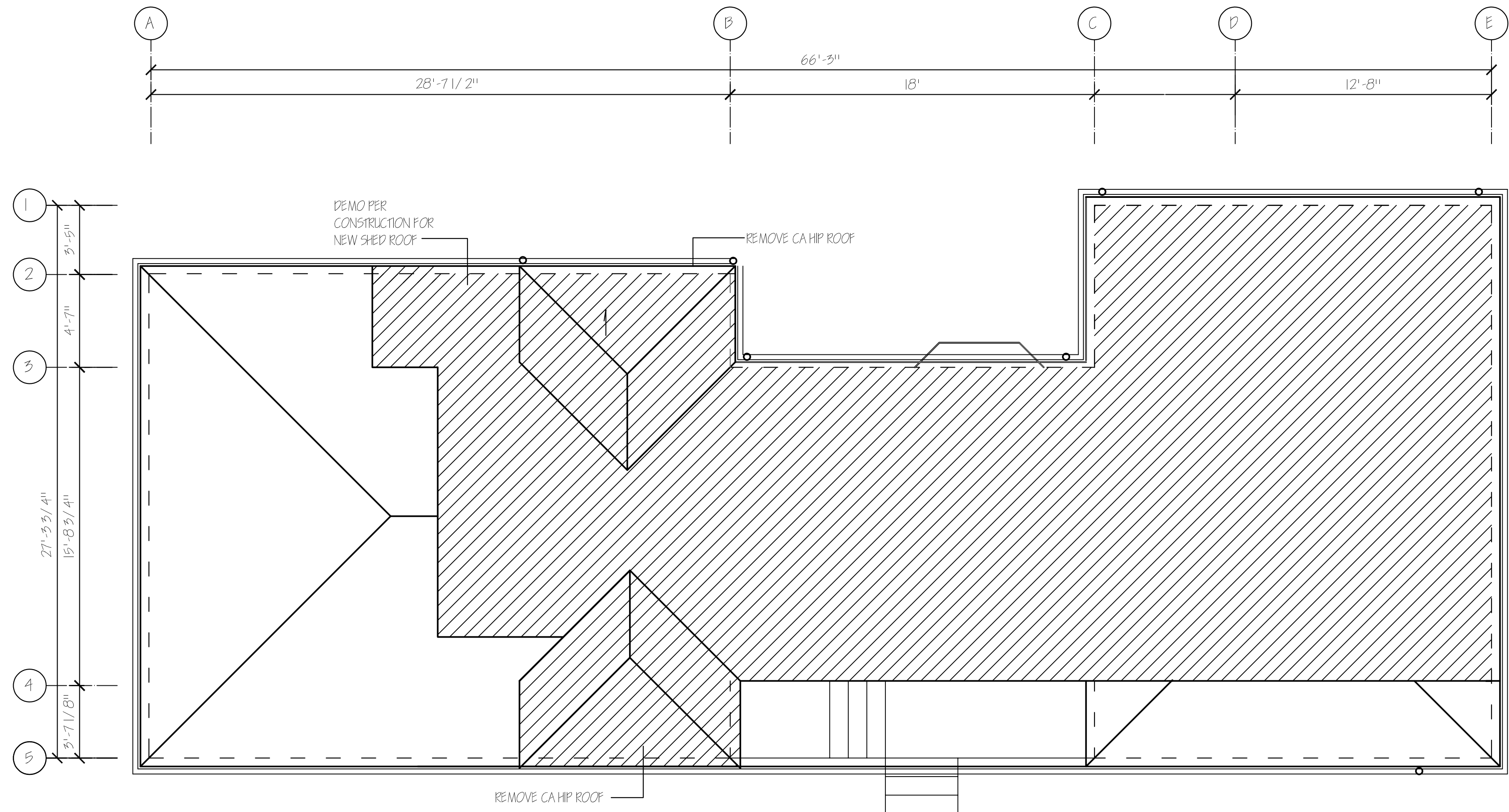
SCALE: 1/8" = 1'-0"



SCALE: 1/8" = 1'-0"

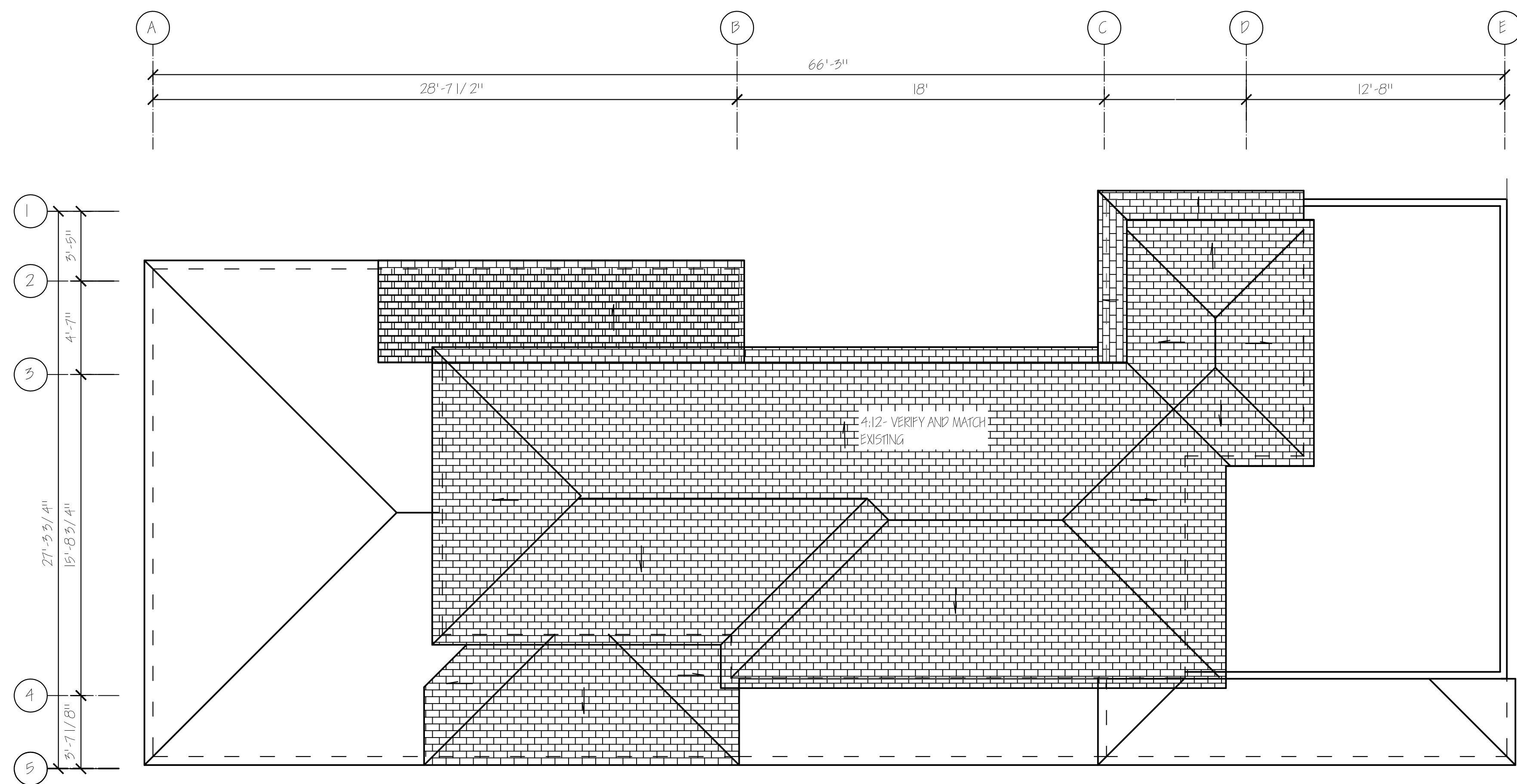


sheet 2 of 9



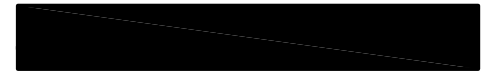
ROOF PLAN- EXISTING AND DEMOLITION

SCALE: 1/ 4" = 1'-0"



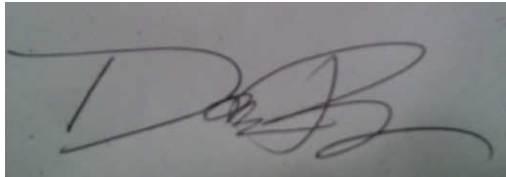
ROOF PLAN- EXISTING AND DEMOLITION

SCALE: 1/ 4" = 1'-0"



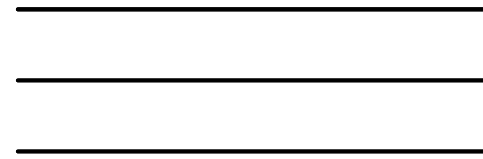
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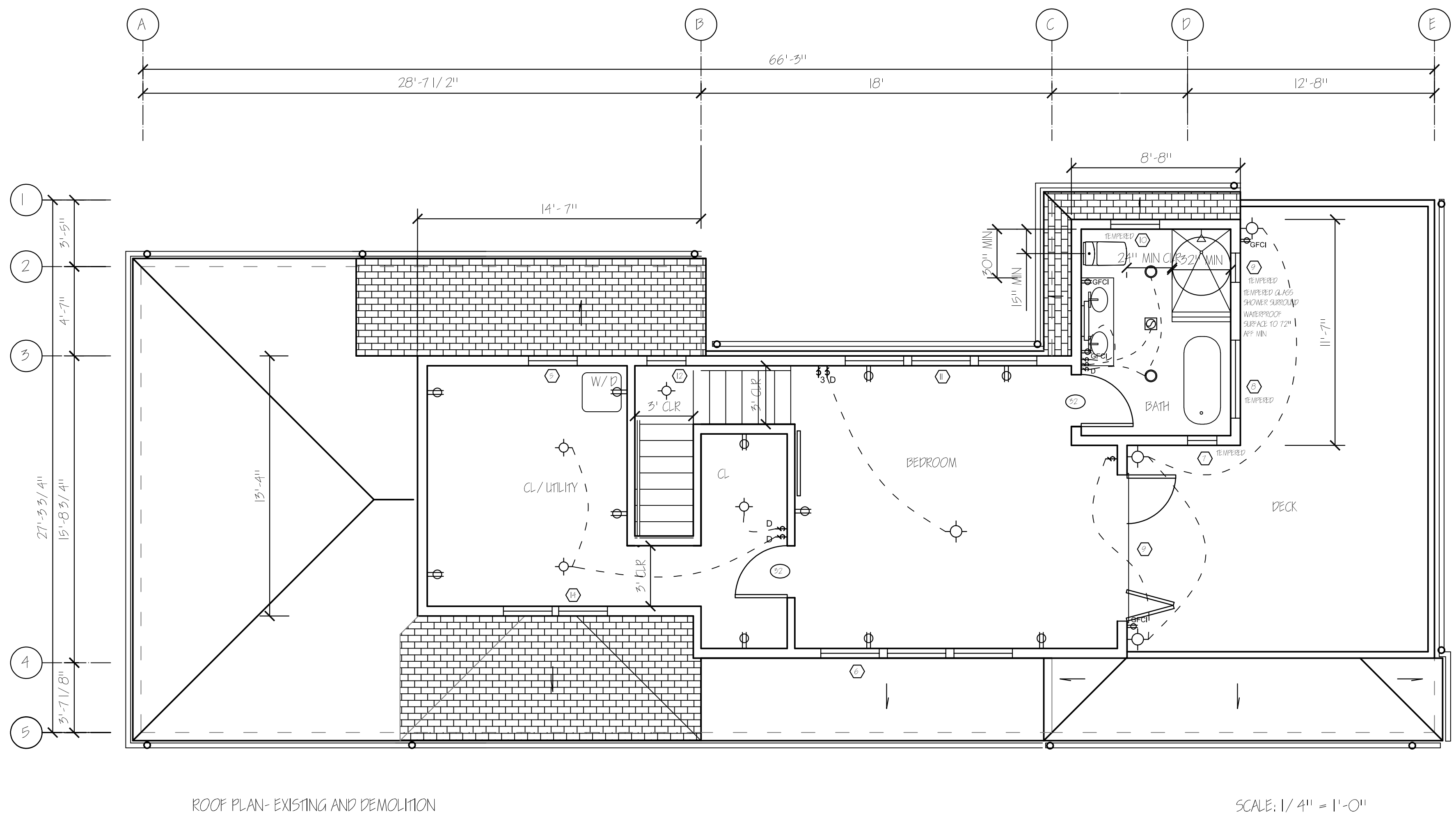
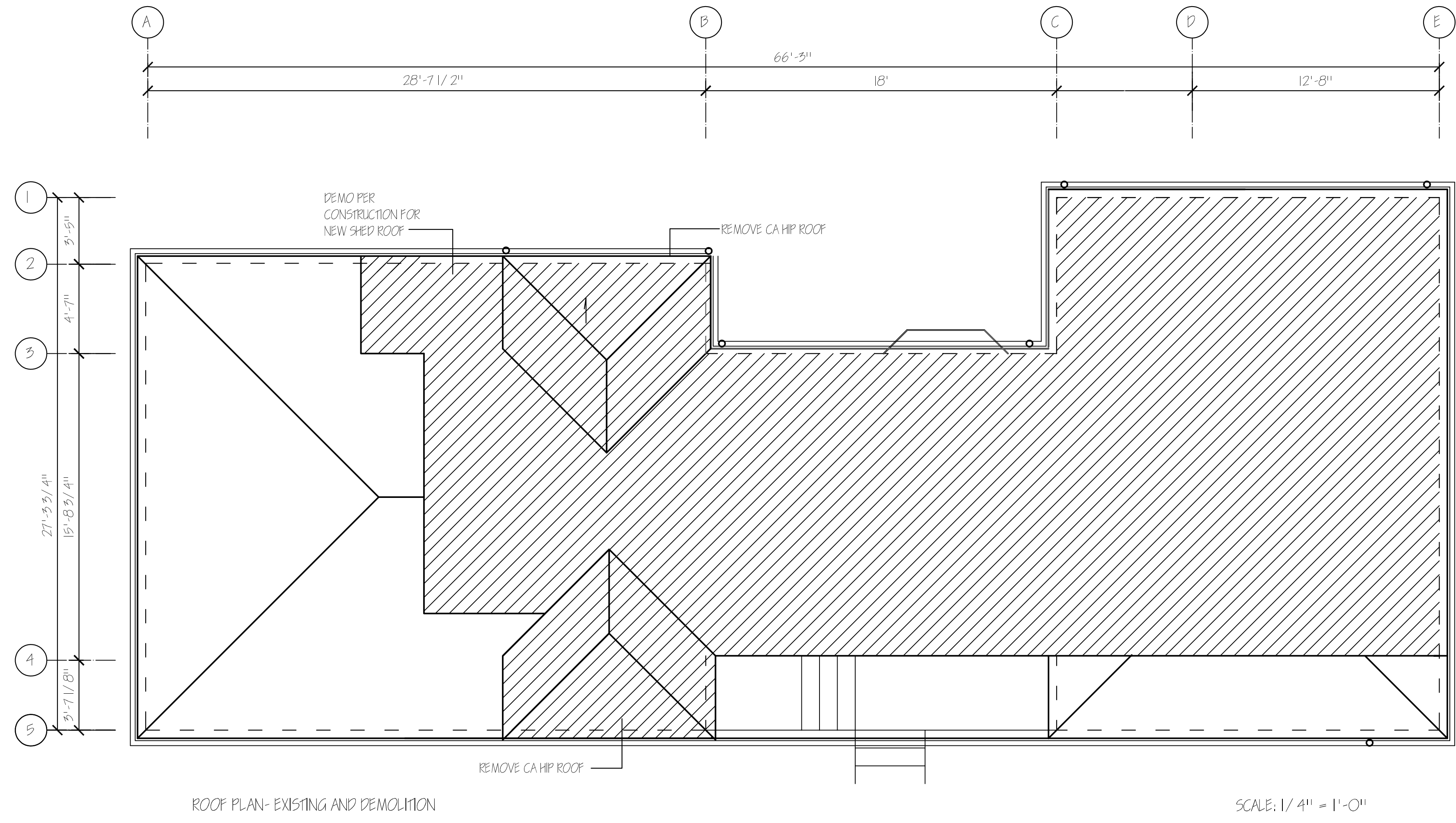
ROOF PLAN—  
EXISTING AND  
PROPOSED



A.1.1

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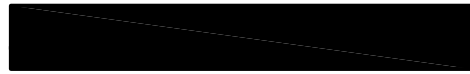
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ROOF PLAN- NEW  
SECOND FLOOR  
PLAN

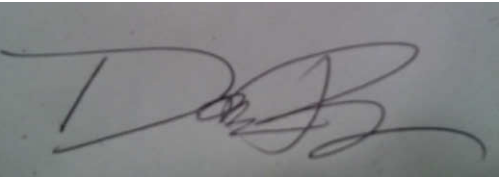
A.1.2

sheet 4 of 9



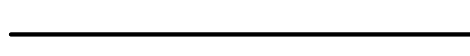
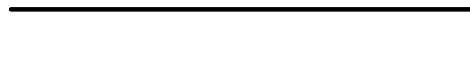
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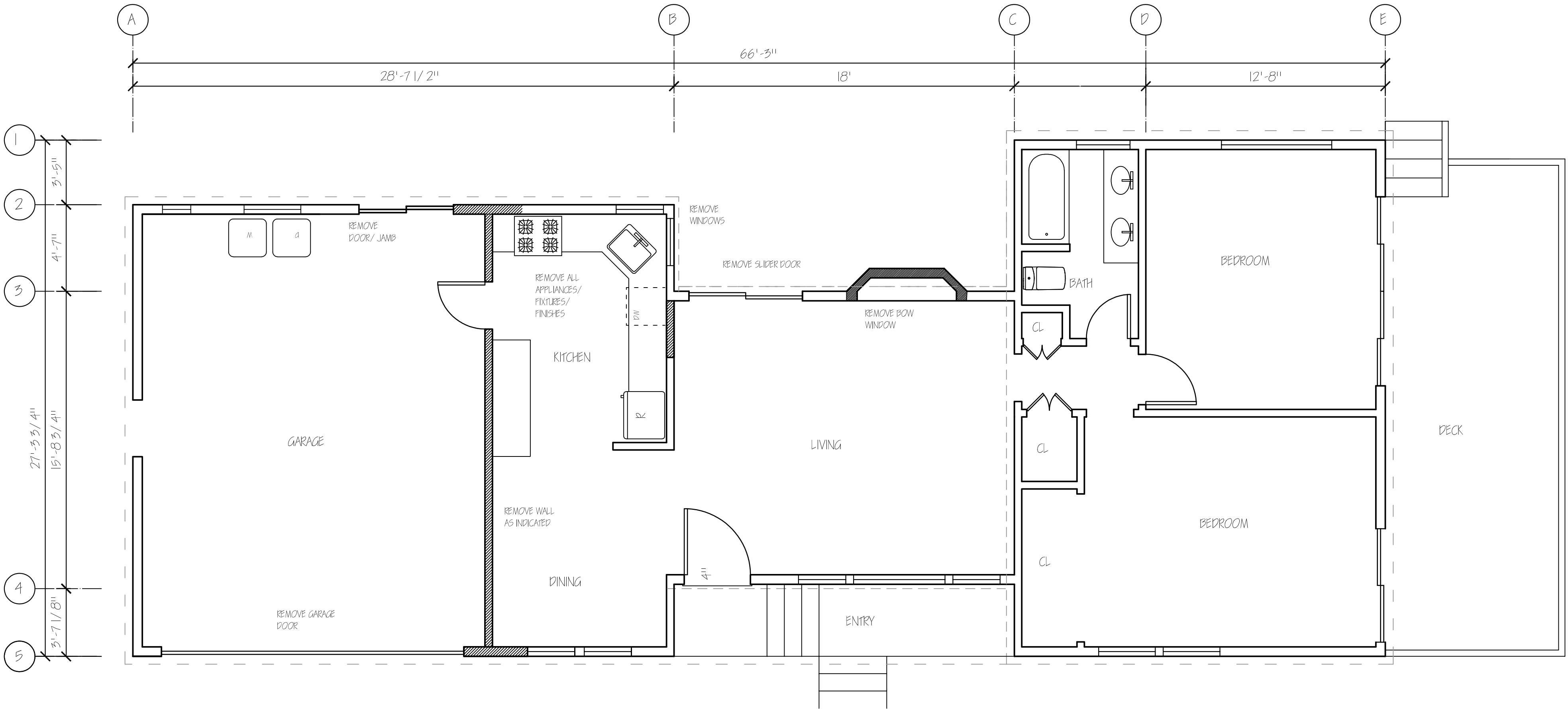


ROOF PLAN- NEW  
SECOND FLOOR  
PLAN



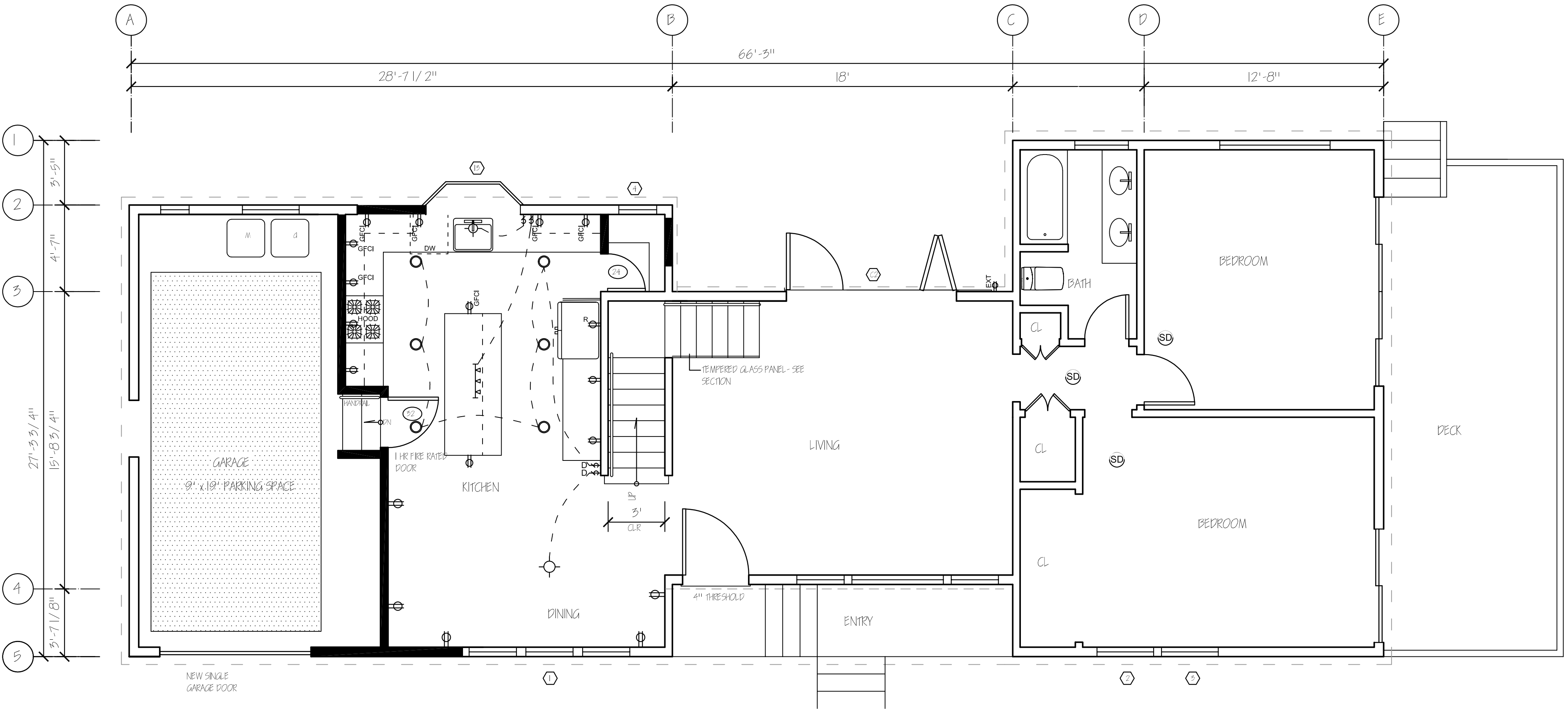
A.1.3

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ROOF PLAN- EXISTING AND DEMOLITION

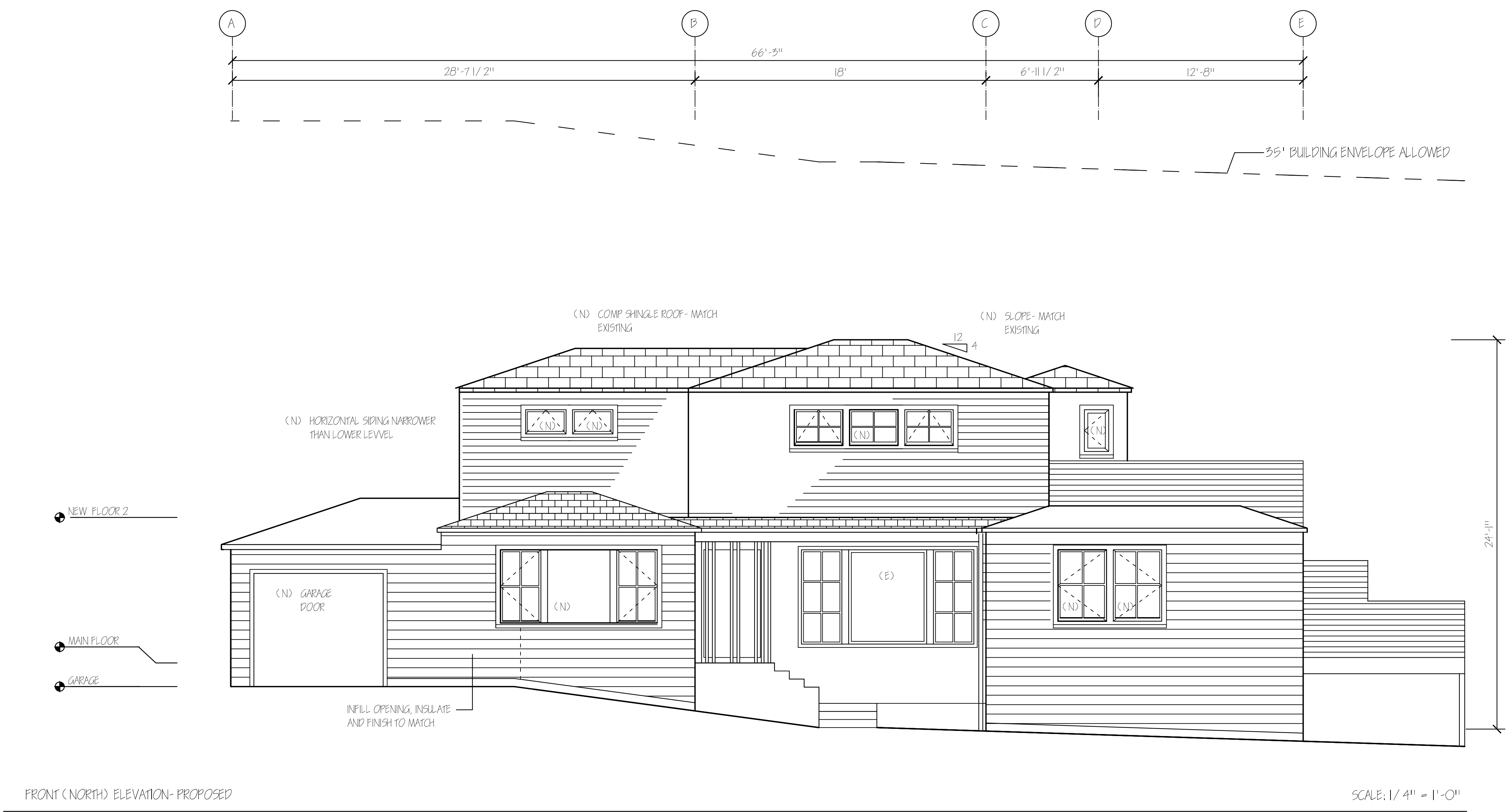
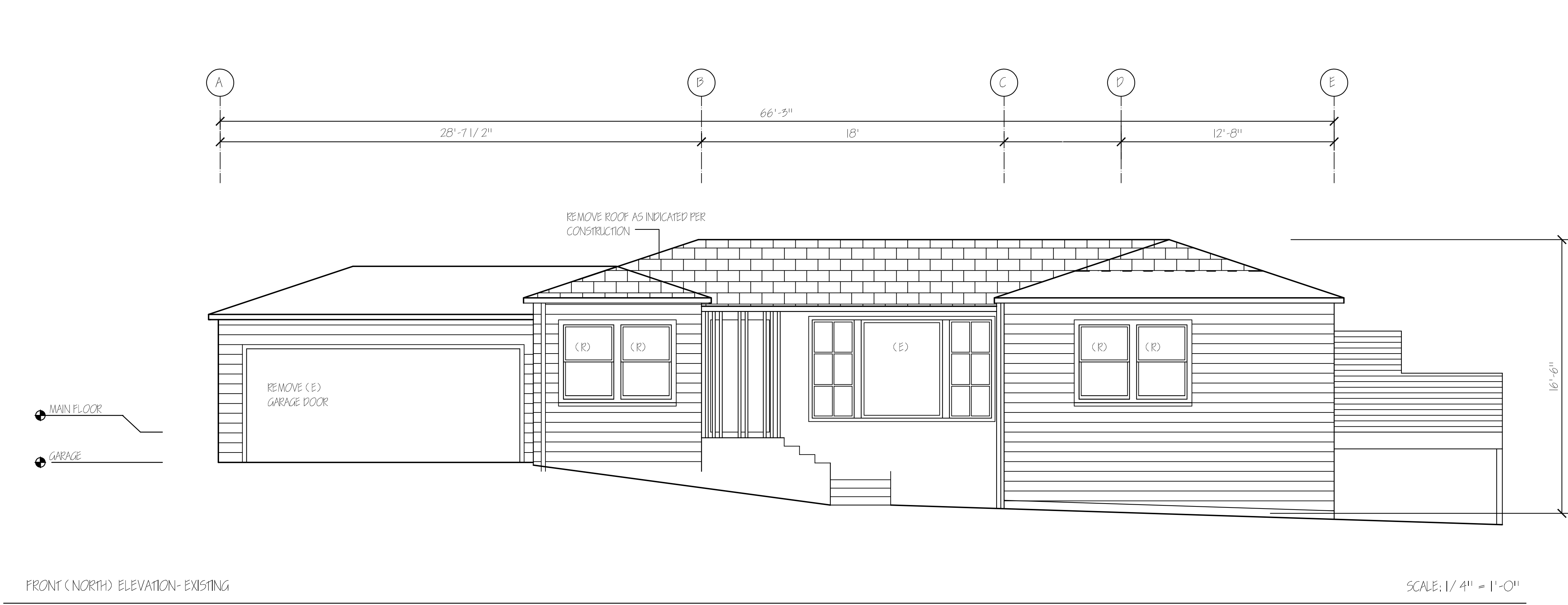
SCALE: 1/4" = 1'-0"



ROOF PLAN- EXISTING AND DEMOLITION

SCALE: 1/4" = 1'-0"





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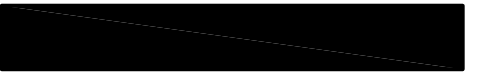
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EXTERIOR  
ELEVATIONS



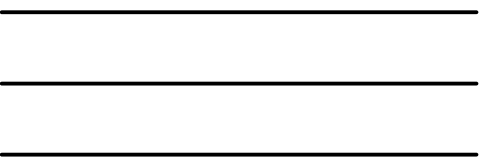
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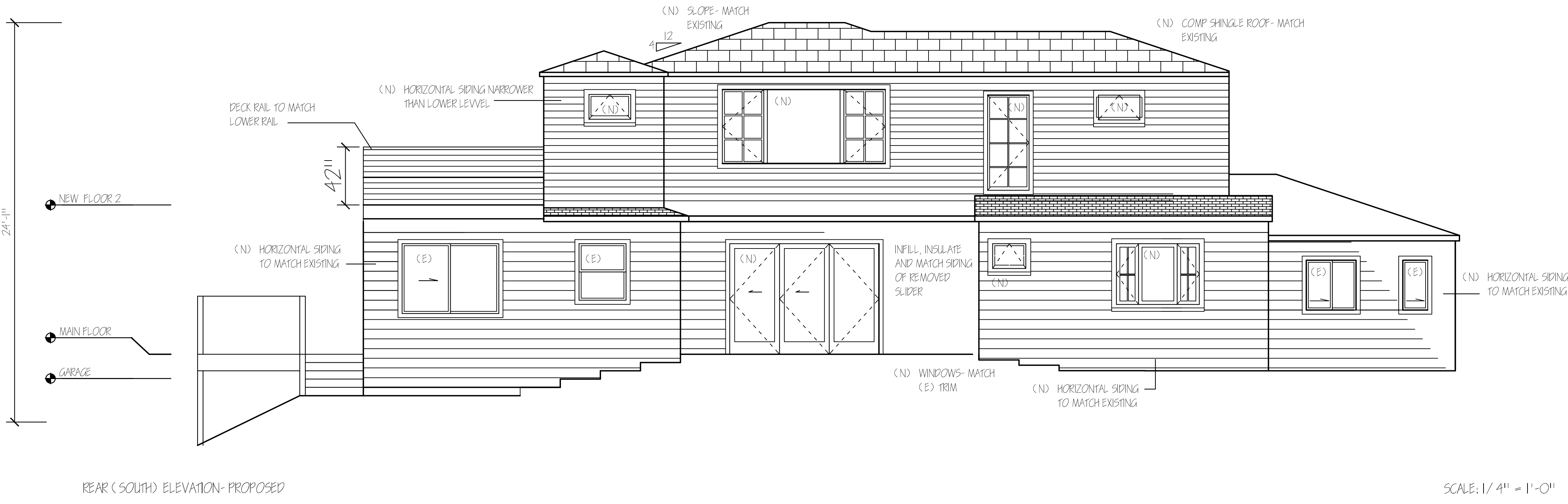
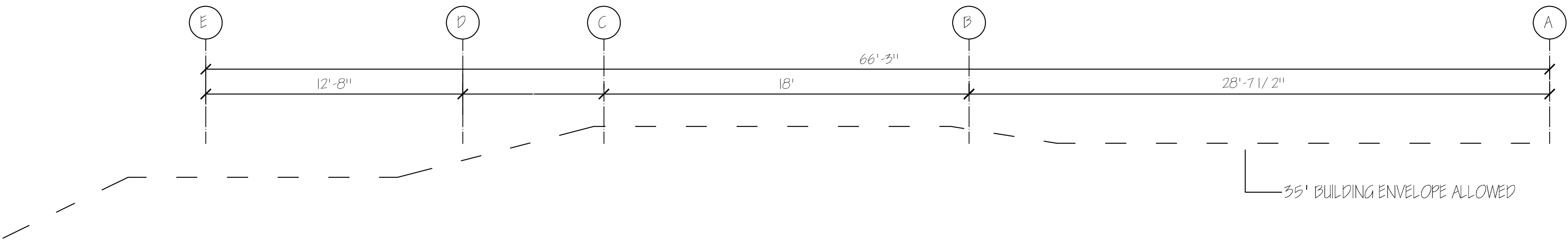
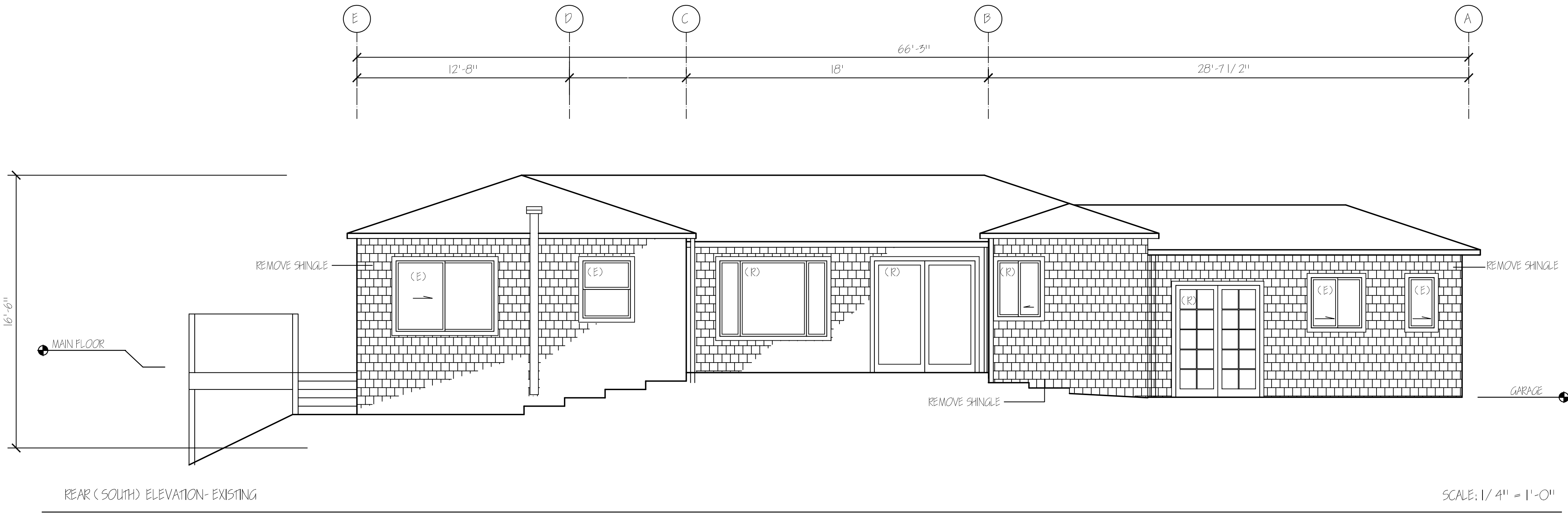


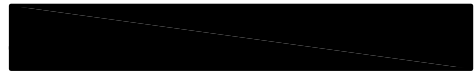
EXTERIOR  
ELEVATIONS-



A.2.1

sheet 7 of 9





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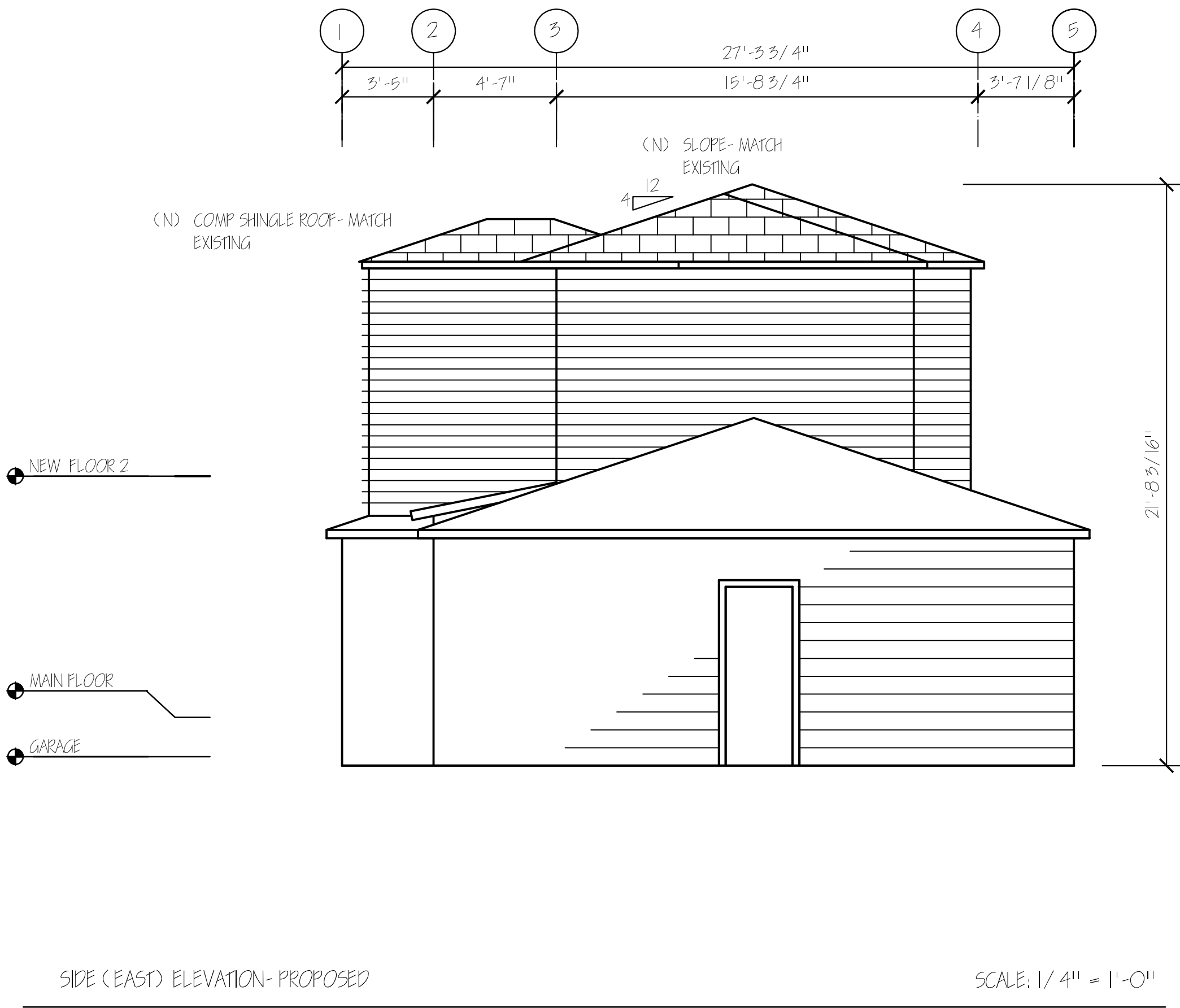
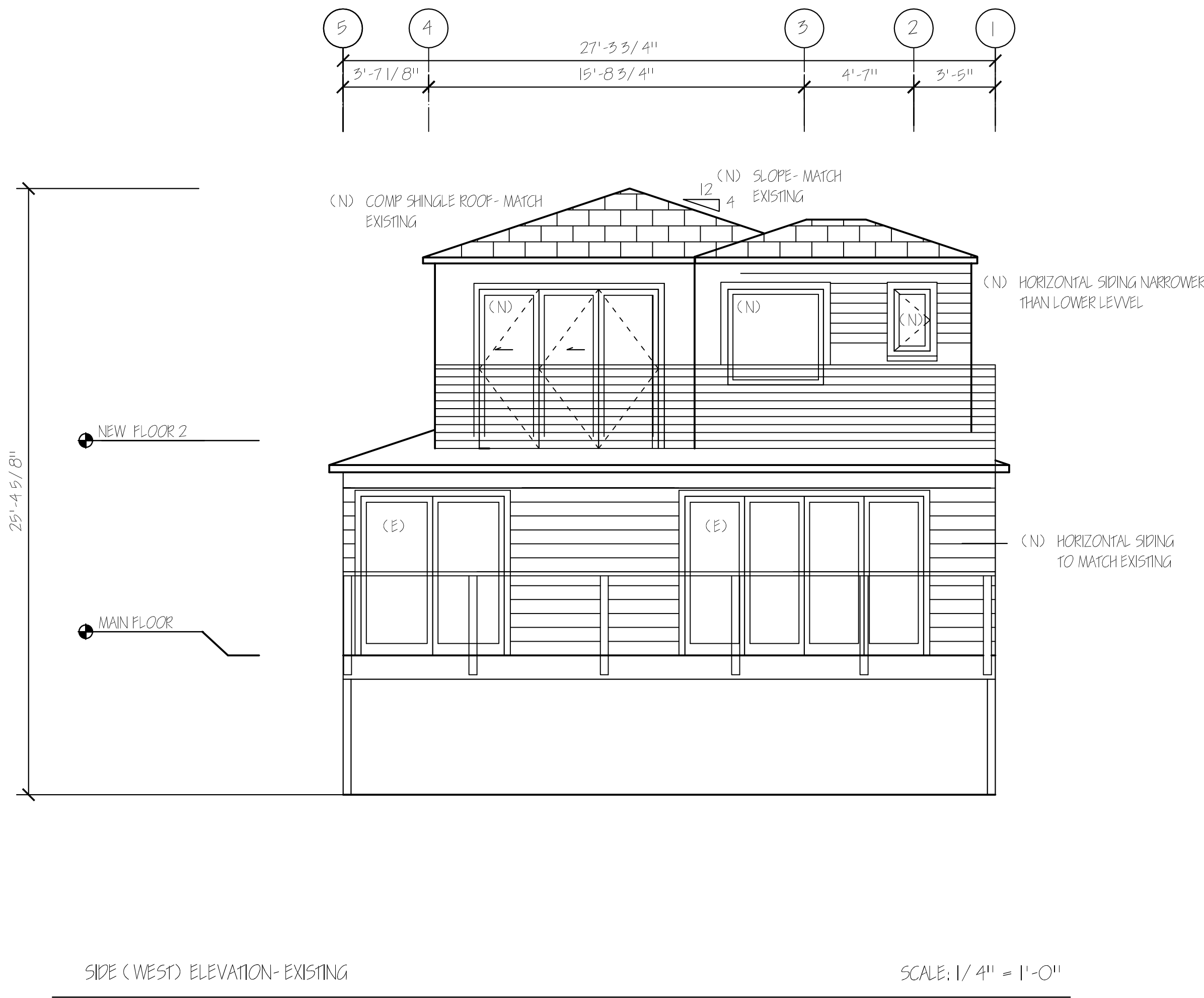
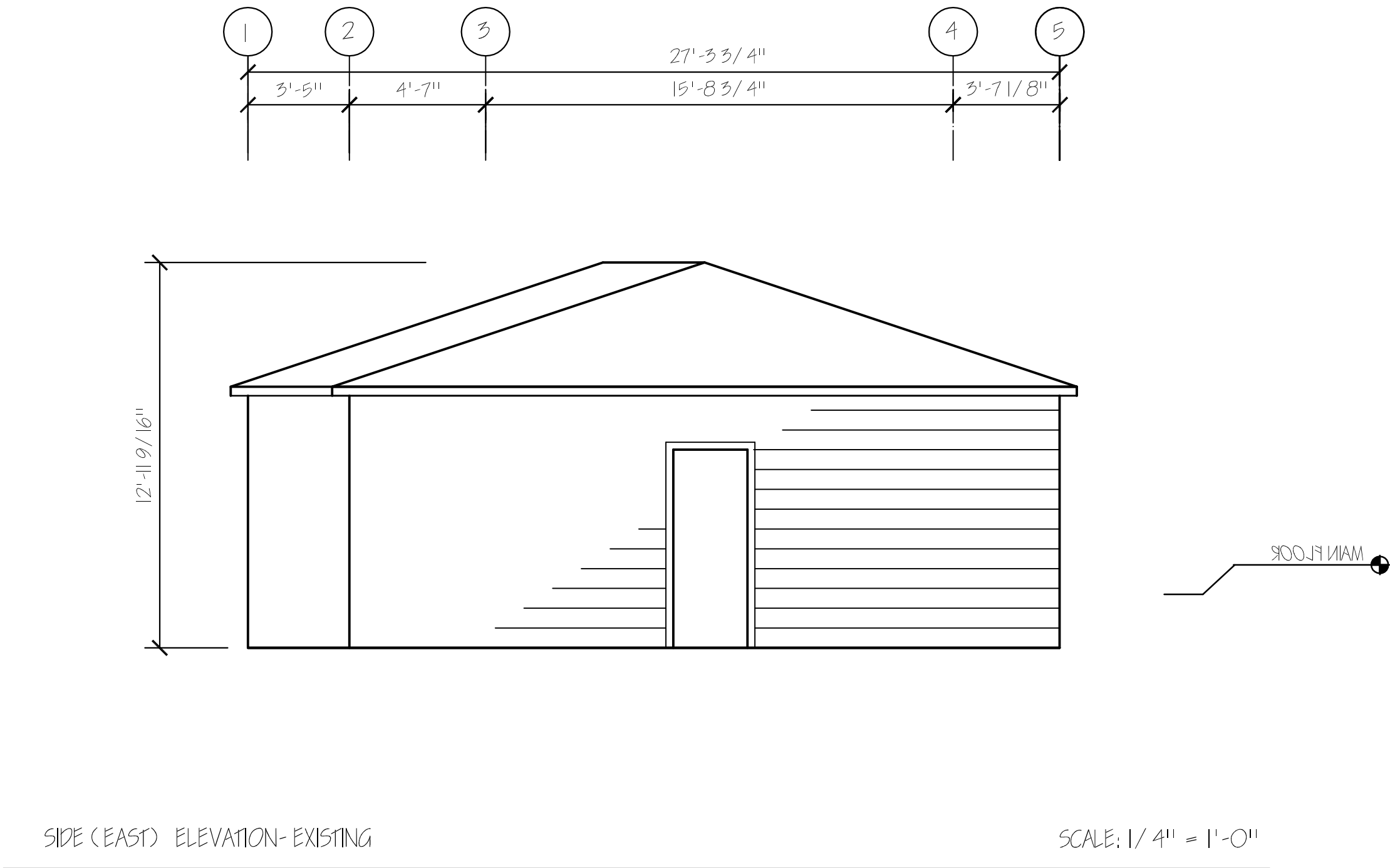
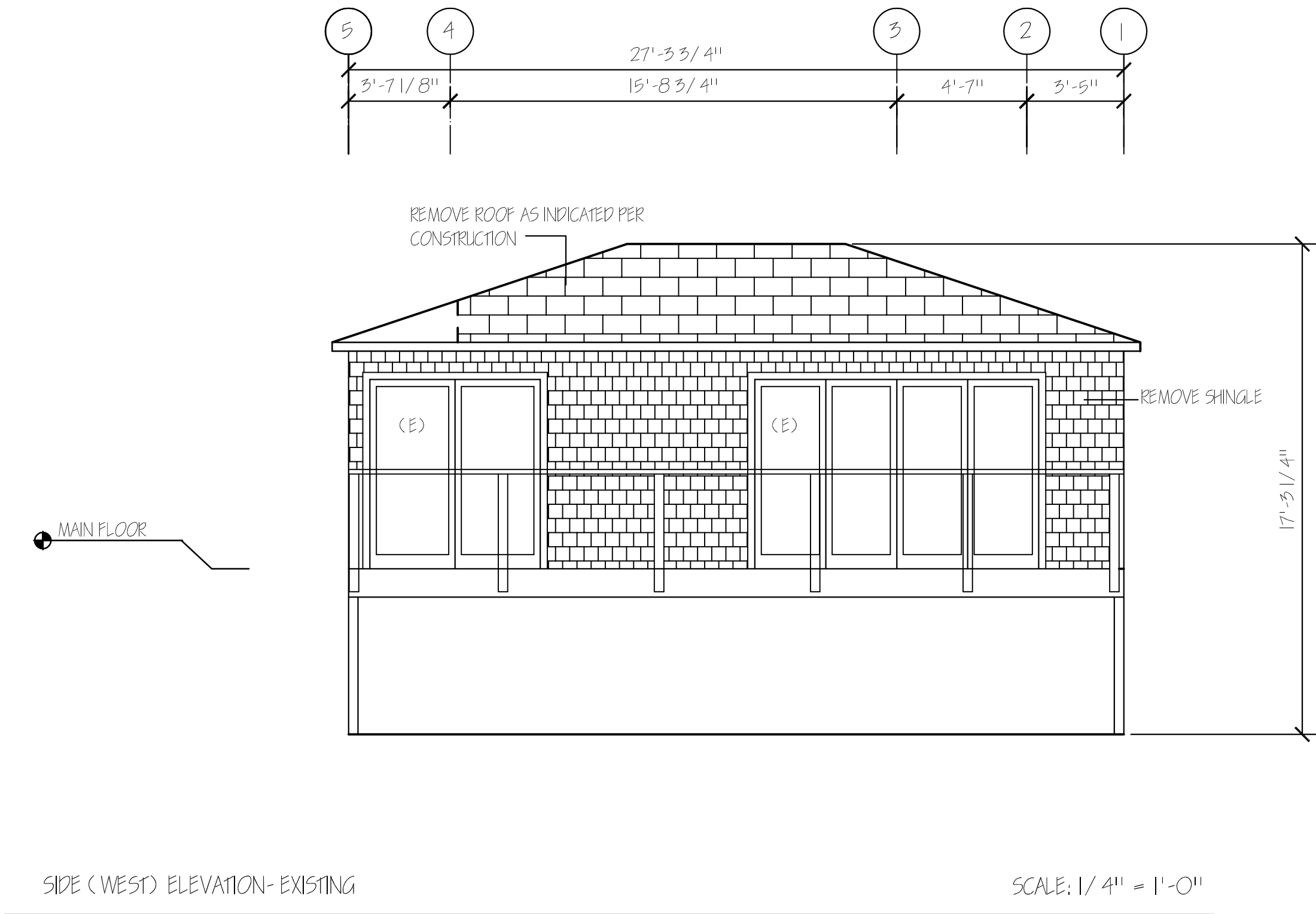


EXTERIOR  
ELEVATIONS—



A.2.2

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